

**City of Bryan Solid Waste Group Notes:**

- Sites requiring a "Front-Load" container shall meet the minimum requirement of a concrete containment area 12 feet wide and 10 feet deep for each dumpster.
- If bollards are planned to be placed in or around the dumpster enclosure the same size specifications apply. Example: If the bollards are placed in the rear of the enclosure, then the distance from the bollards to the front should be 10 feet, not 10 feet from the fence line.
- Dumpster containment areas shall use 8" concrete, reinforced with #5 bars at 12" O.C.W. and the pad shall extend an additional 10 feet in front of the containment area.
- The dumpster containment area shall be surrounded on three sides with a screen constructed to a height of six feet.
- If containment doors are planned they must meet the requirements of an opening 12 feet wide for each front load container. This includes doors or walk ways to the containers; the width for the truck to service the container is a minimum 12 feet. (Note: It is recommended that the doors be set at the minimum width and have the ability to stay open in the event of high winds or extreme weather conditions with bar locks, chains, tie backs, etc.)
- If bricks, CMU blocks, or any other material used for screening are constructed, an interior space of twelve feet wide and ten feet deep must be maintained. If doors are constructed they must maintain the minimum interior width requirement of twelve feet, and provide tie backs or anchors to secure the doors while servicing. The pad, screening and doors will be constructed and maintained at the property owner's expense.

### Preliminary Site Plan

SCALE: Hor: 1" = 60'

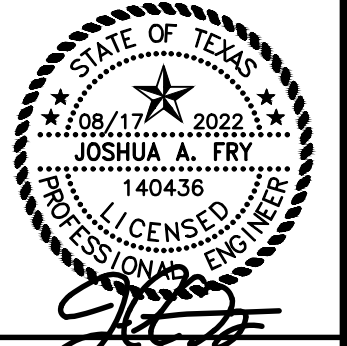
**BTU - Electrical Engineering Note:**  
 1. Where electric facilities are installed, BTU has the right to install, operate, relocate, construct, reconstruct, add to, maintain, inspect, patrol, enlarge, repair, remove and replace said facilities upon, over, under, and across the property included in the P.U.E. and the right of ingress and egress on property adjacent to the P.U.E. to access electric facilities.

- SITE PLAN NOTES:**
- The subject property is zoned Planned Development - Mixed Use (PD-M)
  - Owner & Applicant: Meeks Partners, 16000 Memorial Drive, Suite 100, Houston, TX 77079
  - Proposed Use: Multi-Family Residential (MF) and Retail District (C-2)
  - BUILDING USAGE DETAILS:**  
 Building 1 clubhouse, Buildings 2-12 apartments, Buildings 13-15 townhomes
  - PARKING ANALYSIS:**  
 Total Required Parking Spaces: 432 spaces required, 434 provided  
 Apartments: (1sp/bedroom): 432 spaces required, 434 provided  
 Townhomes: (2sp/unit): 56 required, 56 provided
  - WATER AND SANITARY SEWER DEMANDS:**  
 Average Daily Flow (ADF) = 49,706 gpd = 35 gpm  
 Maximum Daily Demand (MDD) (ADF\*1.70) = 84,500 gpd = 59 gpm  
 Peak Hourly Demand (PHD) (MDD\*1.75) = 147,875 gpd = 2465 gpm  
 Wastewater Flow (Rate of Return = 75%): Pk = 1,849 gpm Avg. = 26 gpm
  - FIRE FLOW REQUIREMENTS:**  
 Both Existing and Proposed Fire Hydrants will cover this project. The buildings will not be sprinkled.
  - According to the Flood Insurance Rate Maps for Brazos County, Texas and Incorporated Areas, Map Number 48041C0220F, Map Revised April 2, 2014. This property is not located in a Special Flood Hazard Area.
  - See Site Civil drawings for additional grading, layout information, Utility layout and Stormwater Pollution Prevention Plan.
  - Irrigation system to be installed by others. Irrigation system must be protected by either a Pressure Vacuum Breaker, a Reduced Pressure Principle Back Flow Device, or a Double-Check Back Flow Device.
  - All Backflow devices must be installed and tested upon installation.
  - Contractor shall provide one (1) week advance notice to City prior to connecting to existing waterlines and shall coordinate the water line connections with the Utility Dept. and City Inspector.
  - NOTE: Demolition/Construction Waste - Site** is required to provide containment for waste prior to and during demolition/construction. Solid waste roll off boxes and/or metal dumpsters shall be supplied by City or City permitted contractor(s) only.
  - The contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with this project. The contractor shall use all means necessary to prevent the occurrence of windblown litter from the project site.
  - Dumpster pads shall satisfy minimum requirements of City of Bryan Land and Site Development Ordinance, Section 62-331 "Solid Waste Disposal."
  - All minimum building setbacks shall be in accordance with the City of Bryan Code of Ordinances.
  - All signage will be permitted separately.
- TRAFFIC/HANDICAP SIGN INSTALLATION NOTES:**
- All signs shall be posted on 8"-6", 2"-1/2" outside diameter Galvanized Steel Pipe Signposts that weigh two (2) pounds per linear foot. These signposts shall be placed a minimum of 2.5 to 3.0 feet into the ground in a dug or drilled one-foot diameter hole. The sign-post shall be placed vertically plumb in the center of the hole and secured with a minimum of two (2) sacks of sackcrete. The concrete mix shall be hand tamped as necessary.
  - All traffic signs shall be installed so that the bottom of each sign shall be at least seven (7) feet above the ground at the base of the signpost or above an adjacent travelway. All traffic signposts shall be installed 24" from the travelway. Handicapped Parking Signs and Fire Lane Signs shall be installed a minimum of five (5) feet above the ground at the base of the sign, and 12" from the travelway or sidewalk.
  - The hardware used to attach the signs to the signposts shall be the same as that currently used by the City of Bryan.
- STRIPING NOTES:**
- Contractor shall be responsible for the layout of the Parking Area striping plan in the field and stripe as shown on this sheet. All markings shall be white.
  - All paint, glass beads and application rates shall conform to TxDOT Item 666, ReflectORIZED Pavement Markings, Type II Marking Materials.
  - All Parking Space Limit Lines shall be solid white lines 6" wide.
  - All marking/stripping shall conform to current specifications of the Texas Manual on Uniform Traffic Control Devices, the TEXAS ACCESSIBILITY STANDARDS (TAS) of the Architectural Barriers Act [Article 9102, Texas Civil Statutes] from the Texas Department of Licensing and Regulation
  - Fire Lane curbs shall be marked "Fire Lane, No Parking, Tow Away Zone" with minimum of 4" letters on curbs only.
- GENERAL CONSTRUCTION NOTES:**
- It shall be the responsibility of the Contractor to verify the exact location of all existing underground utilities. Furthermore, the Contractor shall contact all utility company representatives a minimum of 48 hours in advance of any excavation.  
 A. Contact Texas 811  
 B. Contact City of Bryan Water Services @ 979-209-5900 to locate public water and sewer lines.  
 C. Contact BTU @ 979-821-5700 to locate Electrical Lines
  - Construction within Public Right-of-Ways and easements must equal or exceed the BCS Unified Technical Specification and Standard Construction Details. All inspections shall be coordinated with the staff of the City Engineer of Bryan.
  - In lieu of using the construction materials indicated in these plans, the Contractor shall obtain written approval from the Engineer for any substitution.
  - Trench Safety Requirements shall be in accordance with O.S.H.A. Standard 29 CFR Part 1926 Subpart P.
  - TRENCHING AND BACKFILLING:** The backfilling of all trenches within structural areas shall be accomplished with cement stabilized sand placed to within 6" of paving sub-grade. The backfilling of all trenches outside of structural areas shall be placed so as to achieve 85 percent Modified Proctor Density. All backfilling shall be between optimum and 4 percent (4%) above optimum moisture content. Testing shall be provided by a certified laboratory at the Owner's expense to verify these standards. Any retesting due to substandard work shall be at the expense of the Contractor. Structural areas shall include all sidewalks and paved areas. For streets, alleys and parking areas, the limits of the structural areas shall extend 5' beyond the curb lines or other paved areas.
  - It is the responsibility of the contractor to comply with all State and Federal Regulations regarding construction activities near energized overhead power lines. Additionally, the contractor shall coordinate all proposed work and procedures with the Bryan Texas Utilities (BTU)
  - Where a contradiction between plans and specifications occur, the plans shall be ruled as superior.
  - Trenches may be left open overnight if properly barricaded to prevent pedestrian access.
  - It shall be the responsibility of the Contractor to prepare and maintain a SWPPP and submit a Large Construction Site Notice and coordinate with City staff. Disturbed Area ~20.4 acres.

Abbreviations	Legend
D.E. Drainage Easement	1/2" Iron Rod Set
D.D.F. Drainage Detention Facility Easement	1/2" Iron Rod Found
D.R. Brazos County Deed Records	5/8" Iron Rod Found
E.A.E. Emergency Access Easement	
F.H. Fire Hydrant	Existing Sewer Line w/ size
O.R. Brazos County Official Records	Existing Water Line w/ size
P.A.E. Public Access Easement	Proposed Sewer Line w/ size
P.R. Brazos County Plat Records	Proposed Water Line w/ size
P.R.A. Public Utility Easement	Existing Gas Line w/ size
R.O.W. Right-of-Way	Existing Overhead Electric Line
U.E. Utility Easement	Guy Anchor
P.R.A.E. Private Access Easement	
S.D. Storm Drain	
P.R.L.E. Private Landscape Easement	
F.D.C. Fire Department Connection	

**City Details to Use**

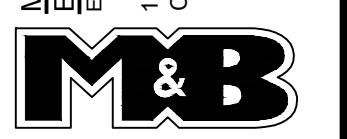
- Curb and Gutter - ST1-01
- Residential Driveway - ST2-00
- Concrete Joint - ST3-00
- Silt Fence - SWP1-03
- Sewer Service Connection - S6-01
- Water Service - W2-01
- Straight or Angle Top - W6-01



ISSUED FOR ZONING APPROVAL  
 Not to be used for Construction Purposes  
 DATE: 06/17/22 DRAWN BY: JF  
 DESIGNED BY: JF  
 CHECKED BY: JF, JR.

REVISIONS

MCLURE & BROWNE  
 ENGINEERING/SURVEYING, INC.  
 Engineer Reg. No. F-438 Survey Reg. No. 10103030  
 1008 Woodcreek Dr., Suite 103  
 College Station, TX 77845 (979) 695-3638



Site Plan  
 Case # RZ22-18  
 Copperfield Drive Apartments

SHEET NO.

G1.1

1000467-01.1